



PERSPECTIVE

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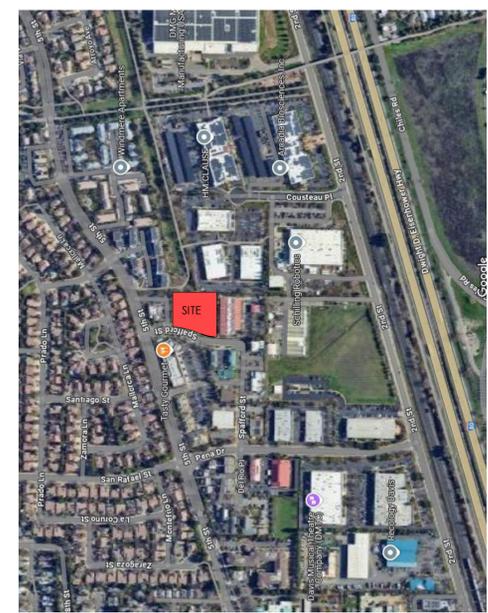
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THE NEST APTS
2932 SPAFFORD ST. DAVIS, CA

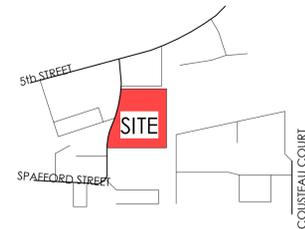
05/01/2025

24057

1



VICINITY MAP



VICINITY MAP



PROJECT NAME:	SPAFFORD APTS	
PROJECT LOCATION:	2932 SPAFFORD ST. DAVIS, CA	
ASSESSORS PARCEL #:	071-403-002	
LOT SIZE:	1.51 ACRES/65,775 SF	
ZONING:	PD 5-22 (HD MIXED)	
GENERAL PLAN:	MIXED USE	
OCCUPANCY / USE:	R-2 MULTI-FAMILY APARTMENTS (MARKET RATE)	
PARKING DIMENSIONS: (CITY OF SACRAMENTO)	90 DEGREE STANDARD SPACE WIDTH: 9 FT SPACE DEPTH: 18 FT	90 DEGREE COMPACT* SPACE WIDTH: 8 FT SPACE DEPTH: 16 FT
	TWO-WAY MANEUVERING WIDTH: 25 FT *COMPACT CAR SPACES, UP TO TBD %.	
PARKING LOT SHADING:	TBD	

	ZONING REQUIREMENT:	PROVIDED:	MEETING CODE:
BUILDING HEIGHT:	60 FT MAX	59'-11"	YES
FRONT SETBACK:	10 FT	20'-0"	YES
STREET SIDE:	10 FT	N/A	N/A
INTERIOR SIDE SETBACK:	5 FT	19'-3"	YES
REAR SETBACK:	10 FT	50'-10"	YES
LANDSCAPE SETBACKS:	TBD	TBD	TBD
LANDSCAPE COVERAGE:	TBD	TBD	TBD
FAR:	2.0	1.43	YES
LOT COVERAGE:	50% MAX	31%	YES
DENSITY:	MIN 20 U/A - NO MAX	98 U/A	YES
OPEN SPACE:	10% OF SITE AREA = 6,534 SF	6,534 (POOL)	YES
PARKING REQUIREMENT:	NO REQUIREMENT; IF PROVIDED MAX ALLOWED: 1 SPACE PER STUDIO/1 BED 1.75 SPACES PER 2 BED	58	YES
RESIDENTIAL BIKE PARKING:	1 PER BEDROOM	LONG TERM: 75% = 119	119
	= 158 BEDROOMS	SHORT TERM: 25% = 39	39

ZONING INFORMATION

CONSTRUCTION TYPE: TYPE V-A WITH A 2HR FIREWALL

BUILDING SUMMARY:

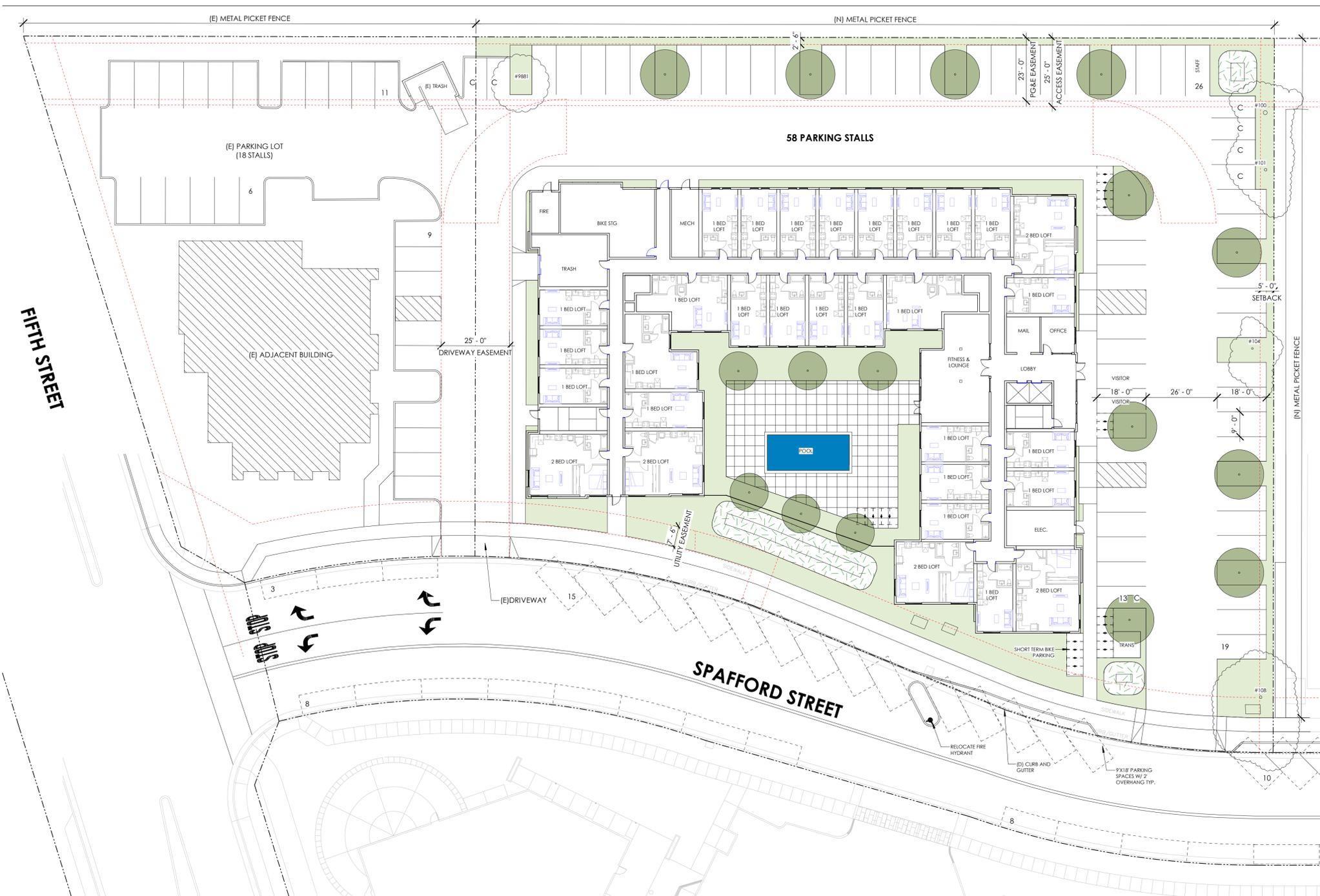
LEVEL	GROSS AREA	NET AREA	NUMBER OF UNIT TYPES				TOTAL UNITS
			STUDIO 366 SF	ONE BED LOFT 448 SF	ONE BED 712 SF	TWO BED LOFT 949 SF	
LEVEL 1	20,620 SF	13,885 SF	-	26	-	5	31
MEZZANINE	5,300 SF	5,040 SF	-	-	-	-	-
LEVEL 2	20,620 SF	17,245 SF	29	-	10	-	39
LEVEL 3	20,620 SF	17,245 SF	29	-	10	-	39
LEVEL 4	20,620 SF	17,245 SF	-	34	-	5	39
TOP MEZZANINE	6,645 SF	6,380 SF	-	-	-	-	-
TOTAL	94,385 SF	77,040 SF	58	60	20	10	148
		PERCENTAGE	39%	40%	14%	7%	

PARKING SUMMARY:

TYPE	STALLS	RATIO TO UNITS
ON-SITE SURFACE PARKING	58	102/148 = 69%
SPAFFORD STREET PARKING	44 (25 ANGLED & 19 PARALLEL)	
ADJACENT OFFICE LOT*	18	120/148 = 81%
TOTAL	120	

*RECIPROCAL PARKING AGREEMENT

RESIDENTIAL PROGRAM DATA



SITE PLAN

1" = 20'-0"

1



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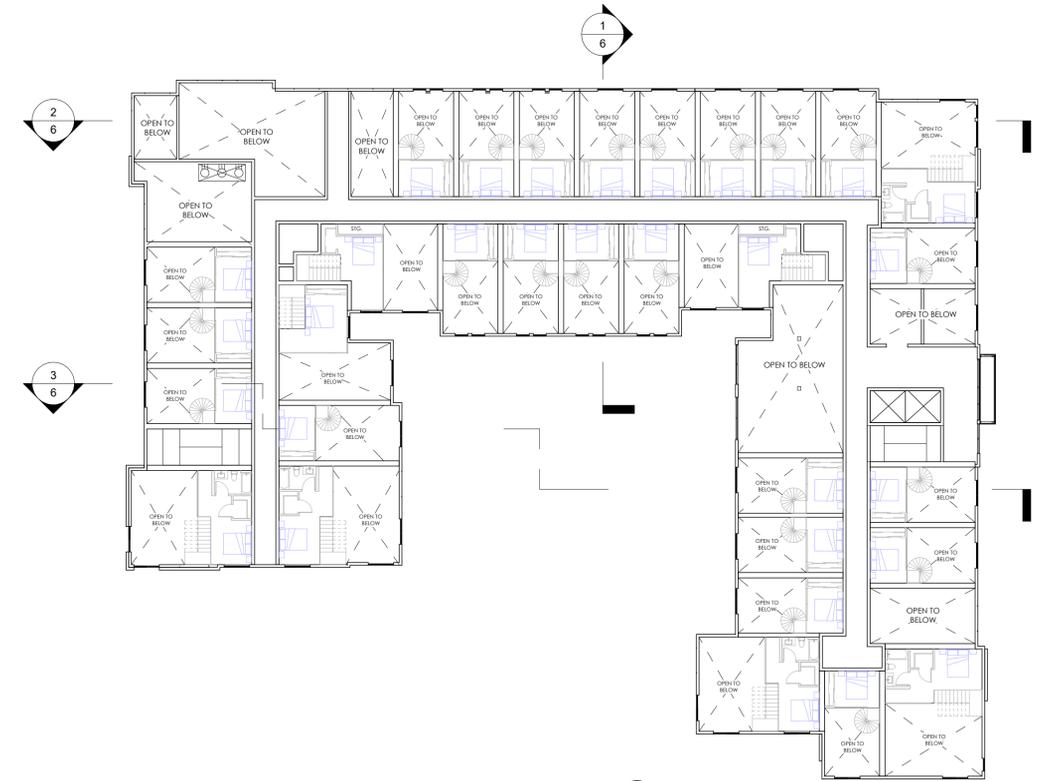
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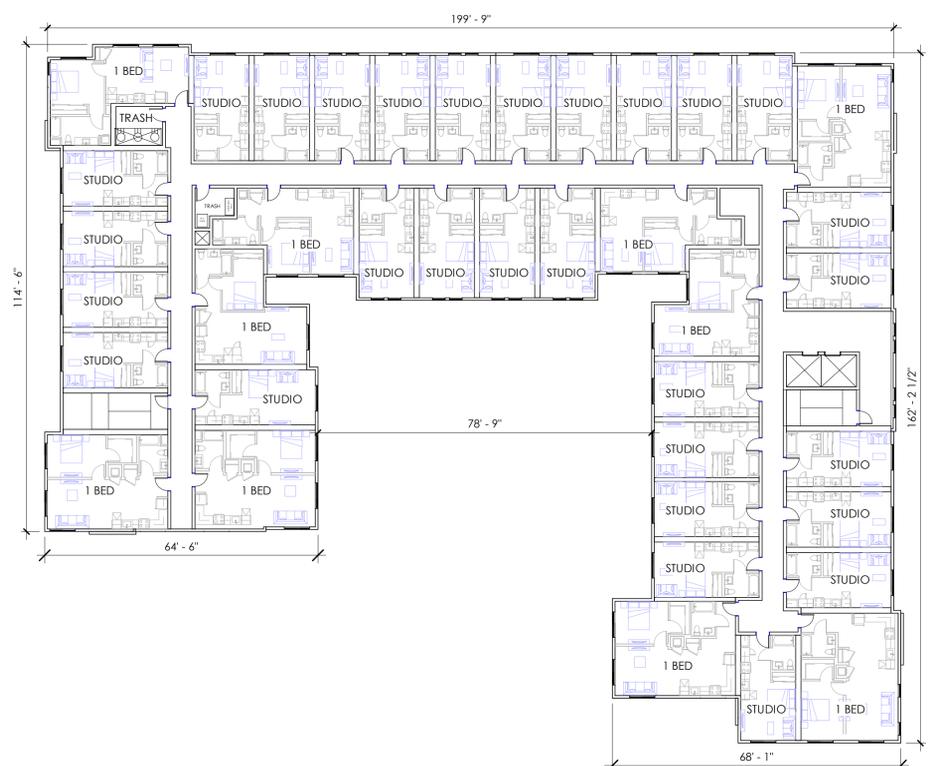
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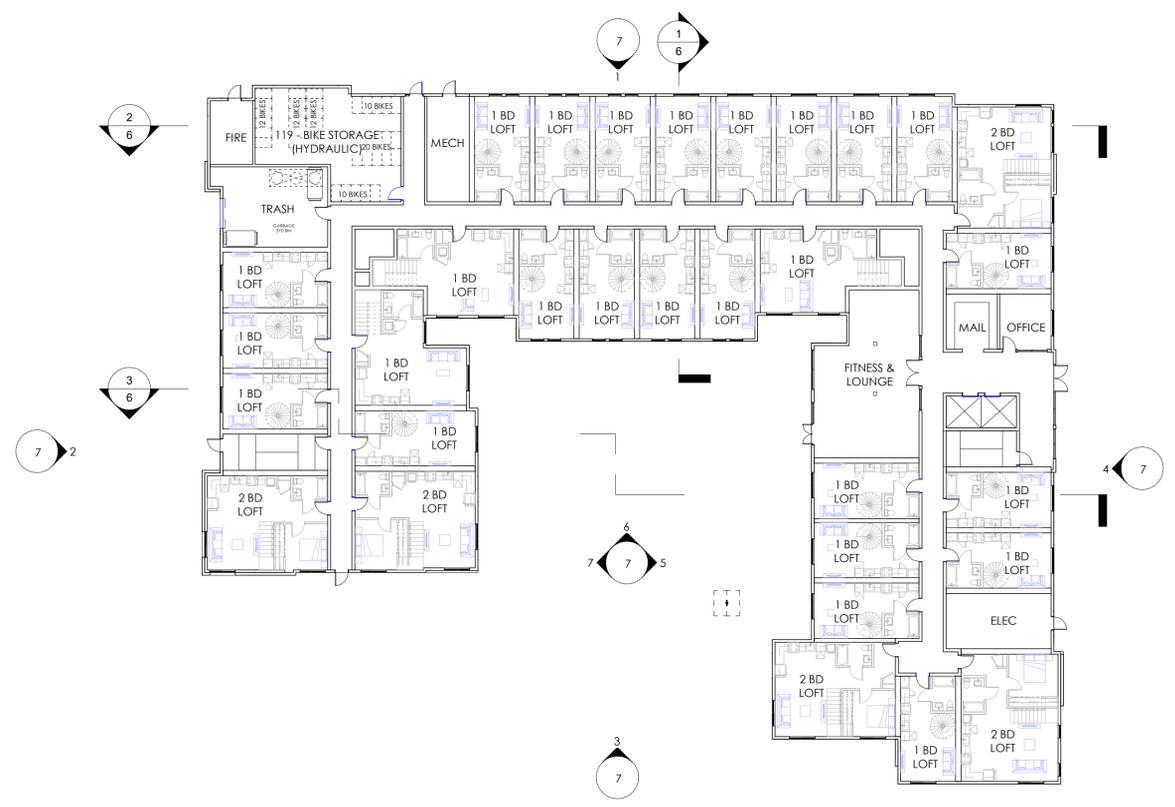
LEVEL 3 1" = 20'-0" 4



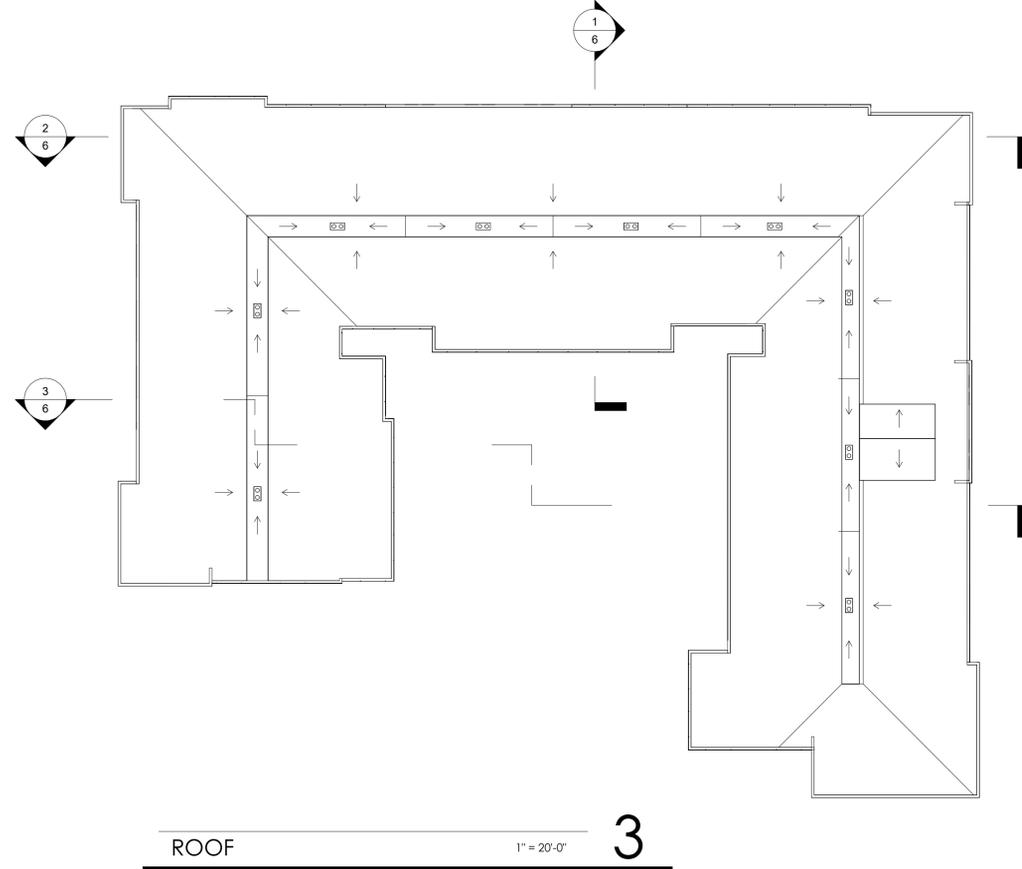
LEVEL 1 - MEZZANINE 1" = 20'-0" 2



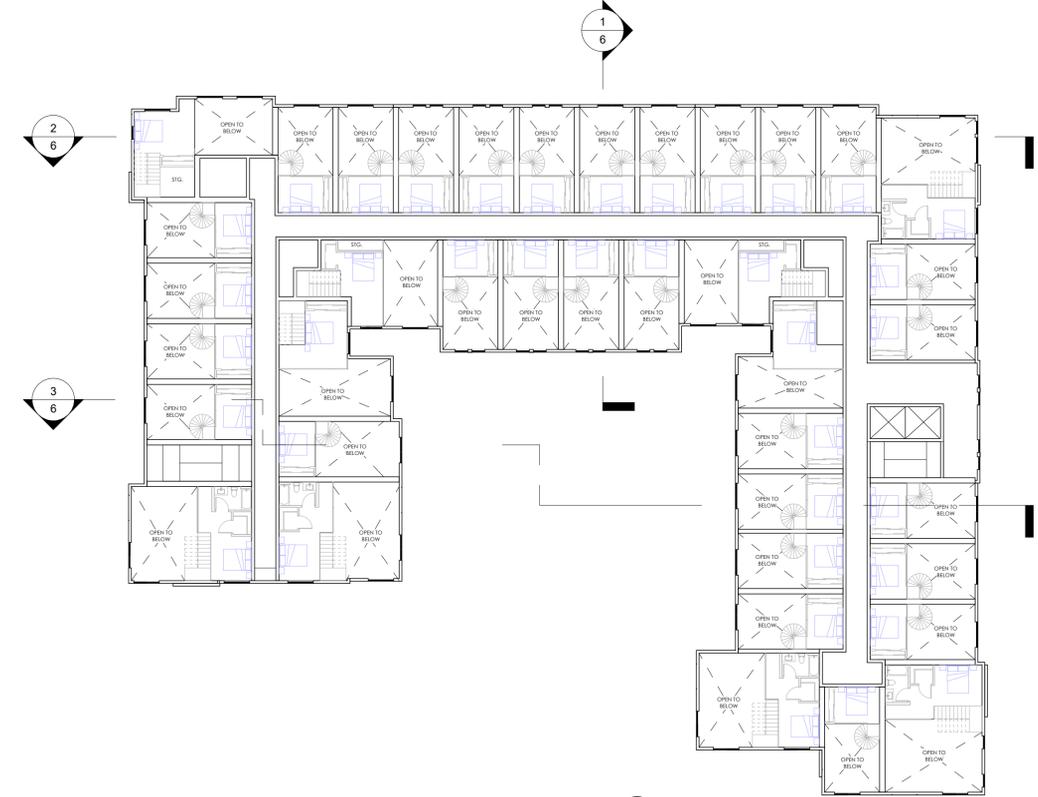
LEVEL 2 1" = 20'-0" 3



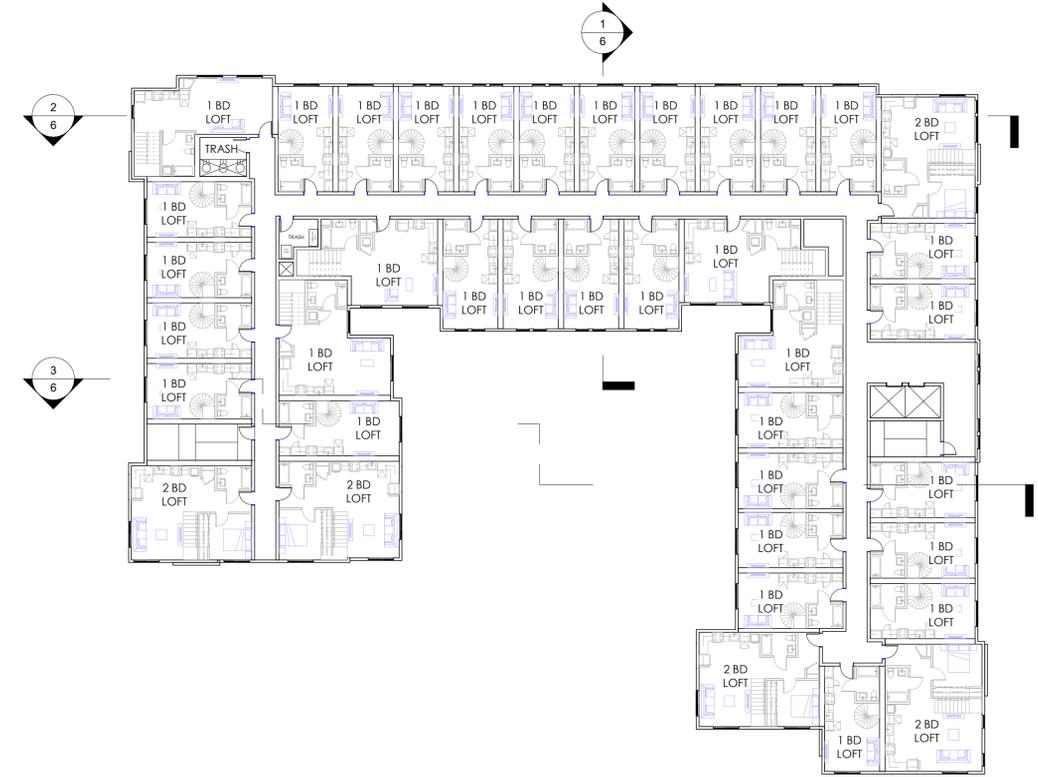
LEVEL 1 1" = 20'-0" 1



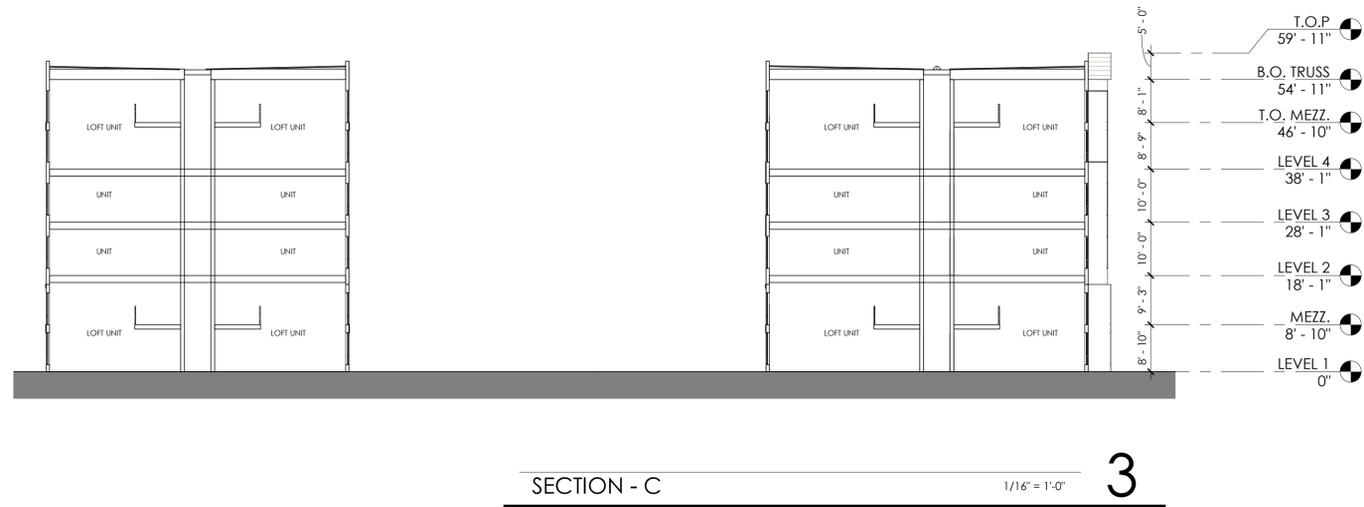
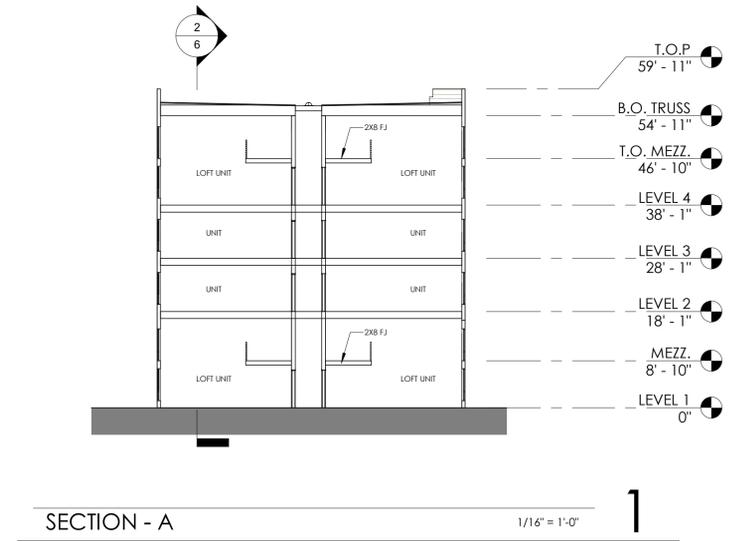
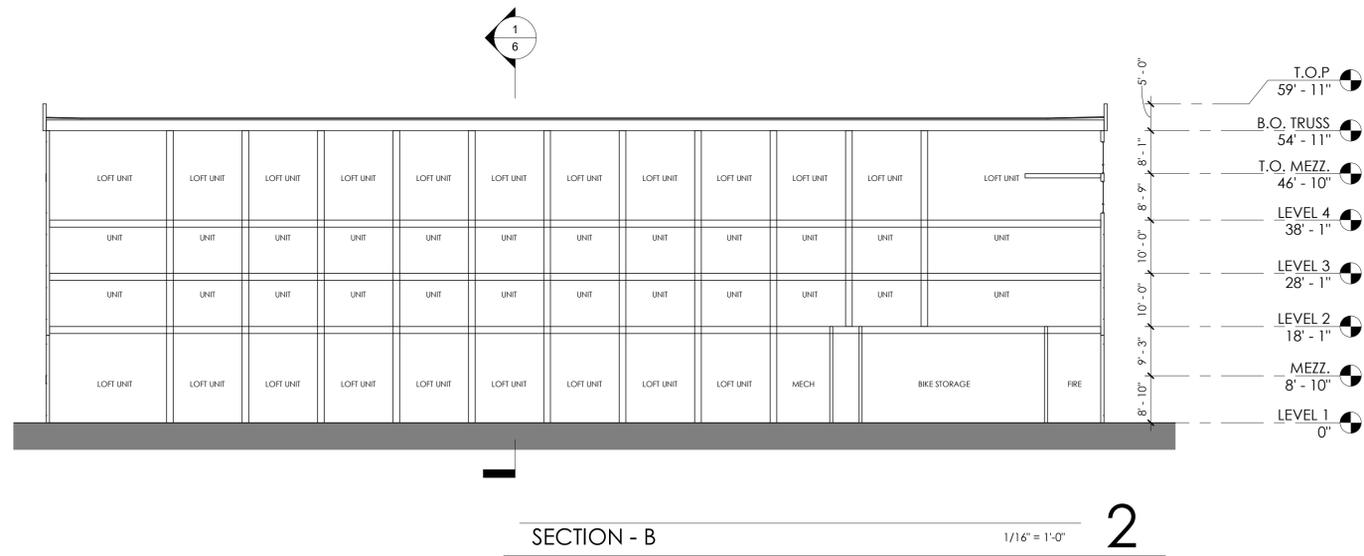
ROOF 1" = 20'-0" 3

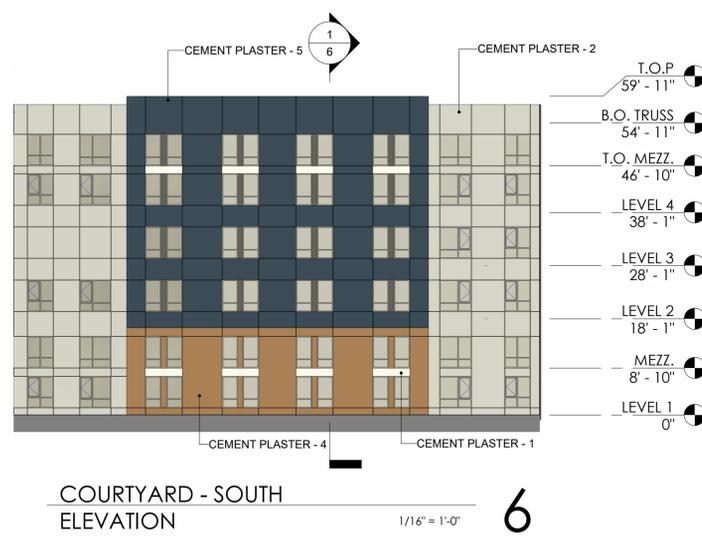
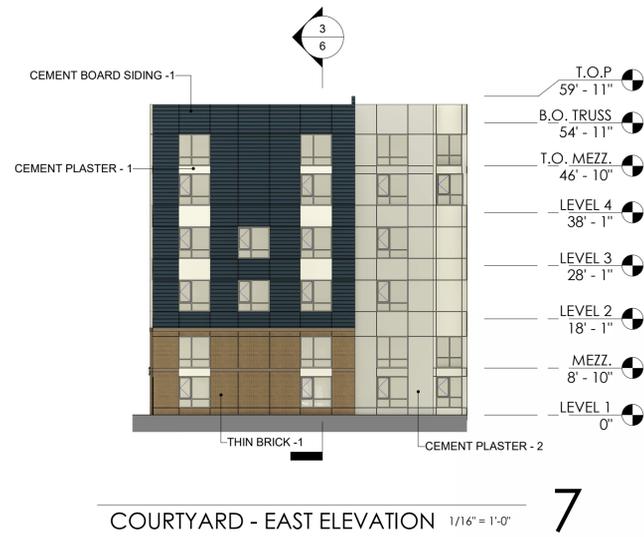


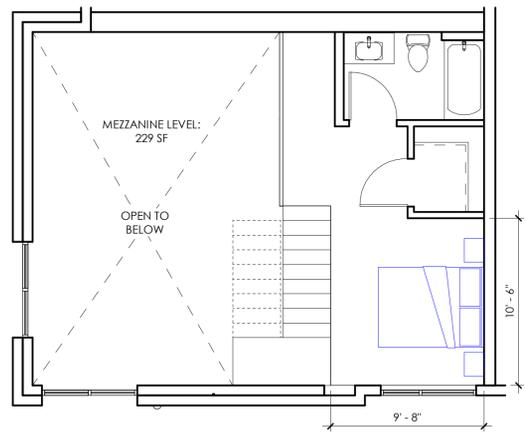
LEVEL 4 - MEZZANINE 1" = 20'-0" 2



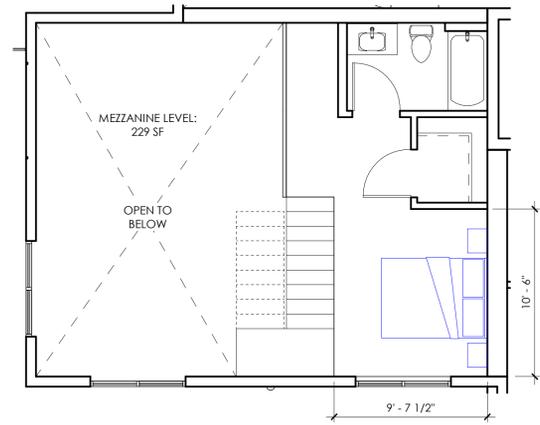
LEVEL 4 1" = 20'-0" 1



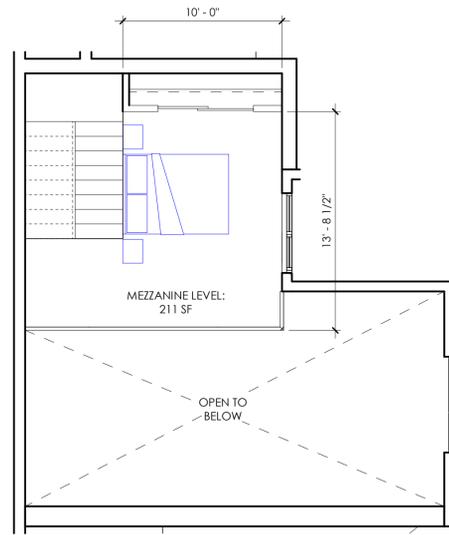




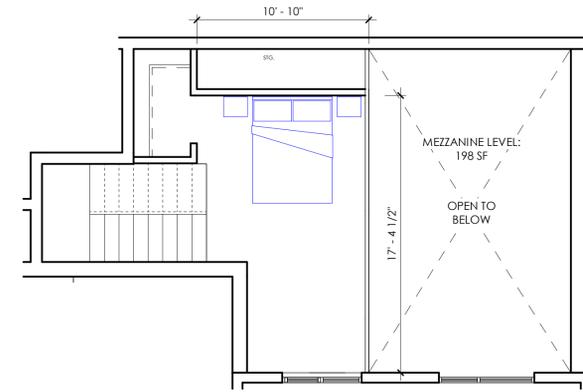
MEZZANINE LEVEL



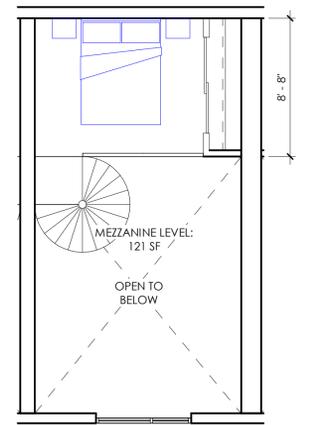
MEZZANINE LEVEL



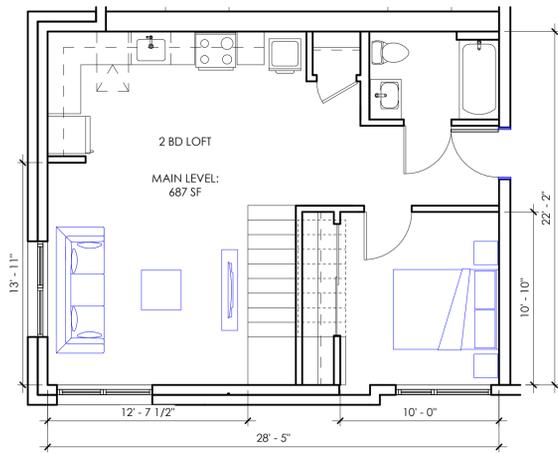
MEZZANINE LEVEL



MEZZANINE LEVEL

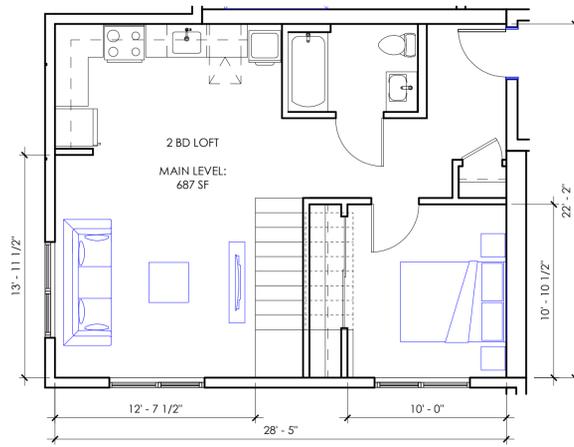


MEZZANINE LEVEL



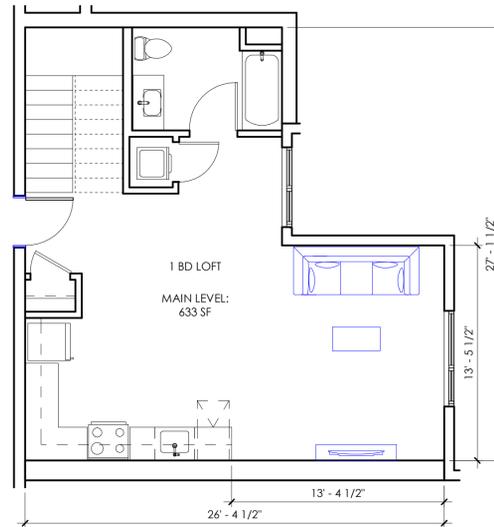
MAIN LEVEL
RENTABLE AREA: 916 SF

2 BED LOFT - B 3/16" = 1'-0" **5**



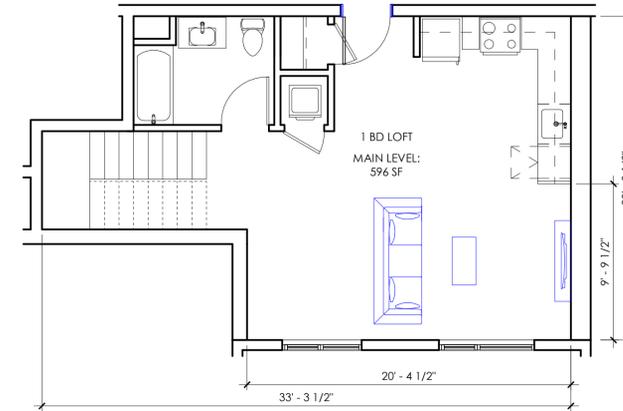
MAIN LEVEL
RENTABLE AREA: 916 SF

2 BED LOFT - A 3/16" = 1'-0" **4**



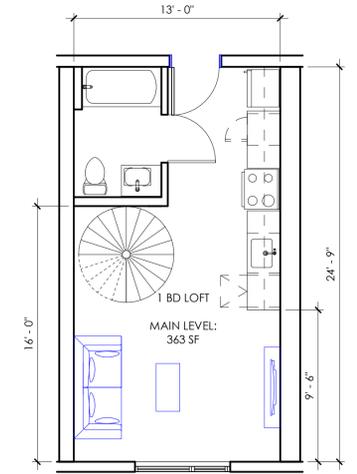
MAIN LEVEL
RENTABLE AREA: 844 SF

1 BED LOFT - C 3/16" = 1'-0" **3**



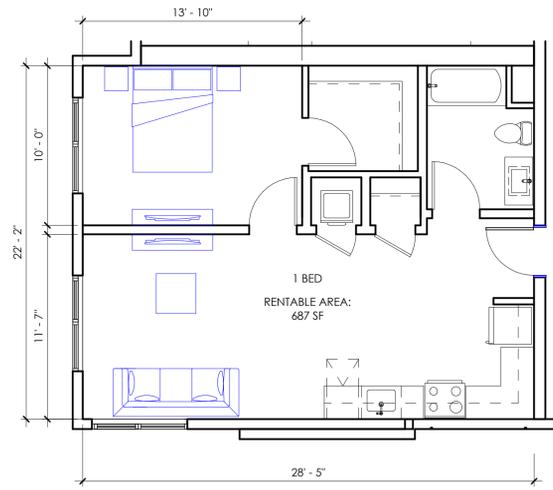
MAIN LEVEL
RENTABLE AREA: 794 SF

1 BED LOFT - B 3/16" = 1'-0" **2**

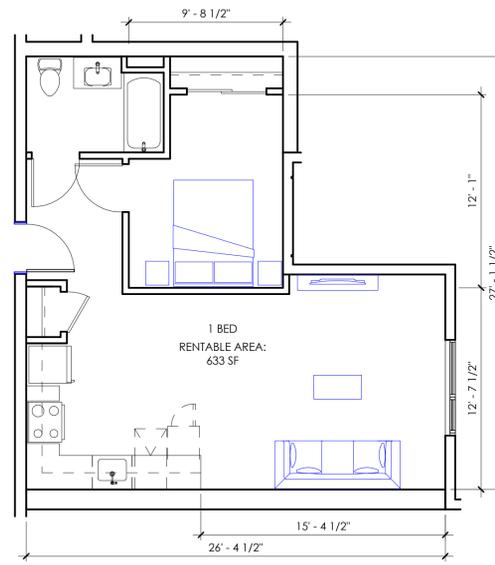


MAIN LEVEL
RENTABLE AREA: 484 SF

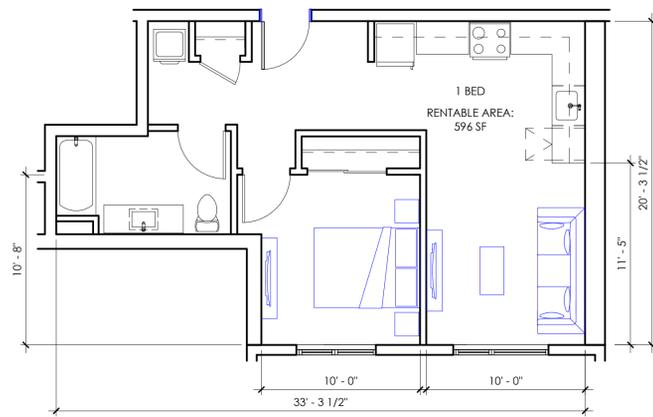
1 BED LOFT - A 3/16" = 1'-0" **1**



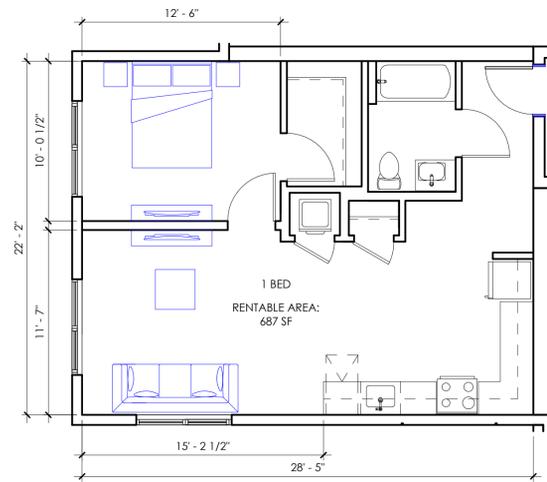
1 BED - D 3/16" = 1'-0" 5



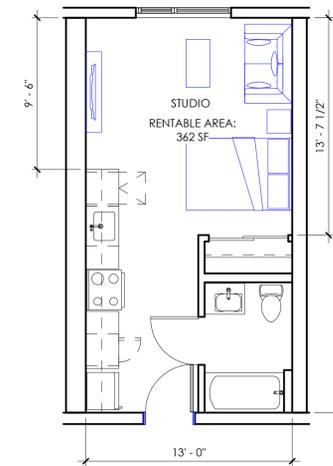
1 BED - C 3/16" = 1'-0" 4



1 BED - B 3/16" = 1'-0" 3

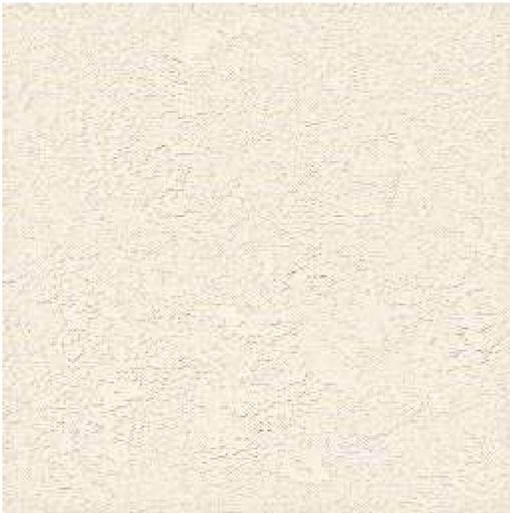


1 BED - A 3/16" = 1'-0" 2



STUDIO 3/16" = 1'-0" 1

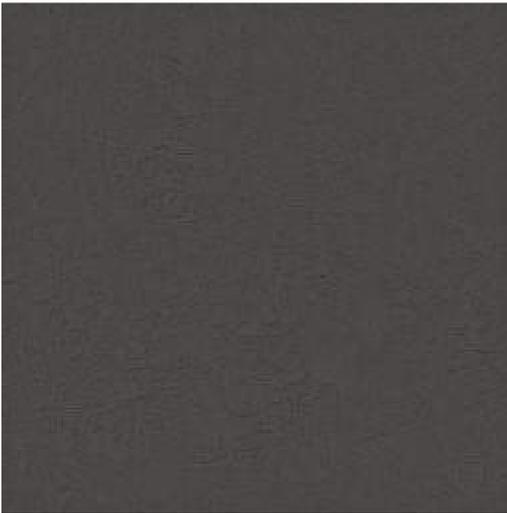
MATERIAL BOARD



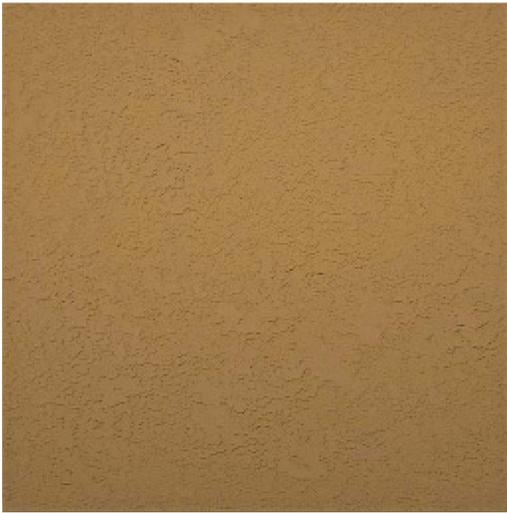
CEMENT PLASTER - 1
OFF-WHITE



CEMENT PLASTER - 2
BROWN



CEMENT PLASTER - 3
DARK GREY



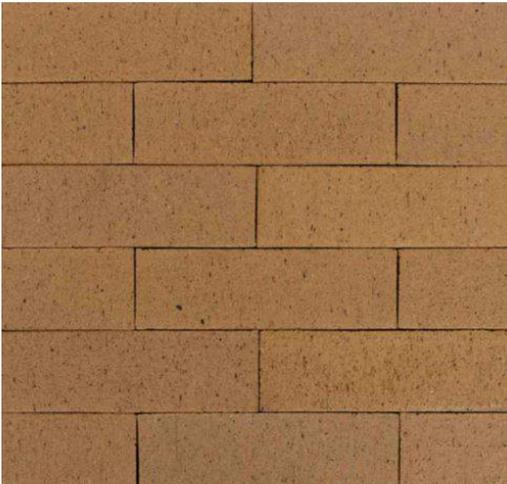
CEMENT PLASTER - 4
BROWN



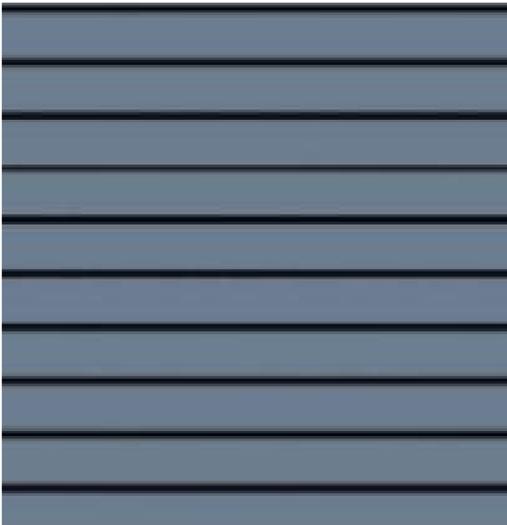
CEMENT PLASTER - 5
DARK BLUE



THIN BRICK - LIGHT BROWN (50% MIX)



THIN BRICK - BROWN (50% MIX)



CEMENT BOARD SIDING - DARK
BLUE GREY

SITE CONTEXT



1 - VIEW FROM ADJACENT PROPERTY ON NORTH SIDE



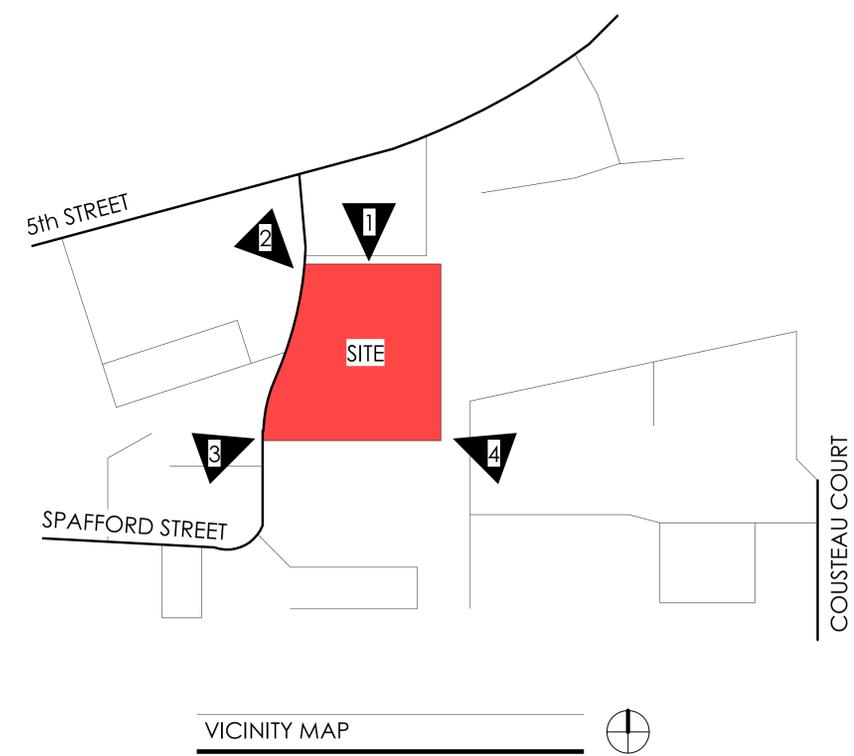
2 - NORTHWEST VIEW FROM SPAFFORD STREET

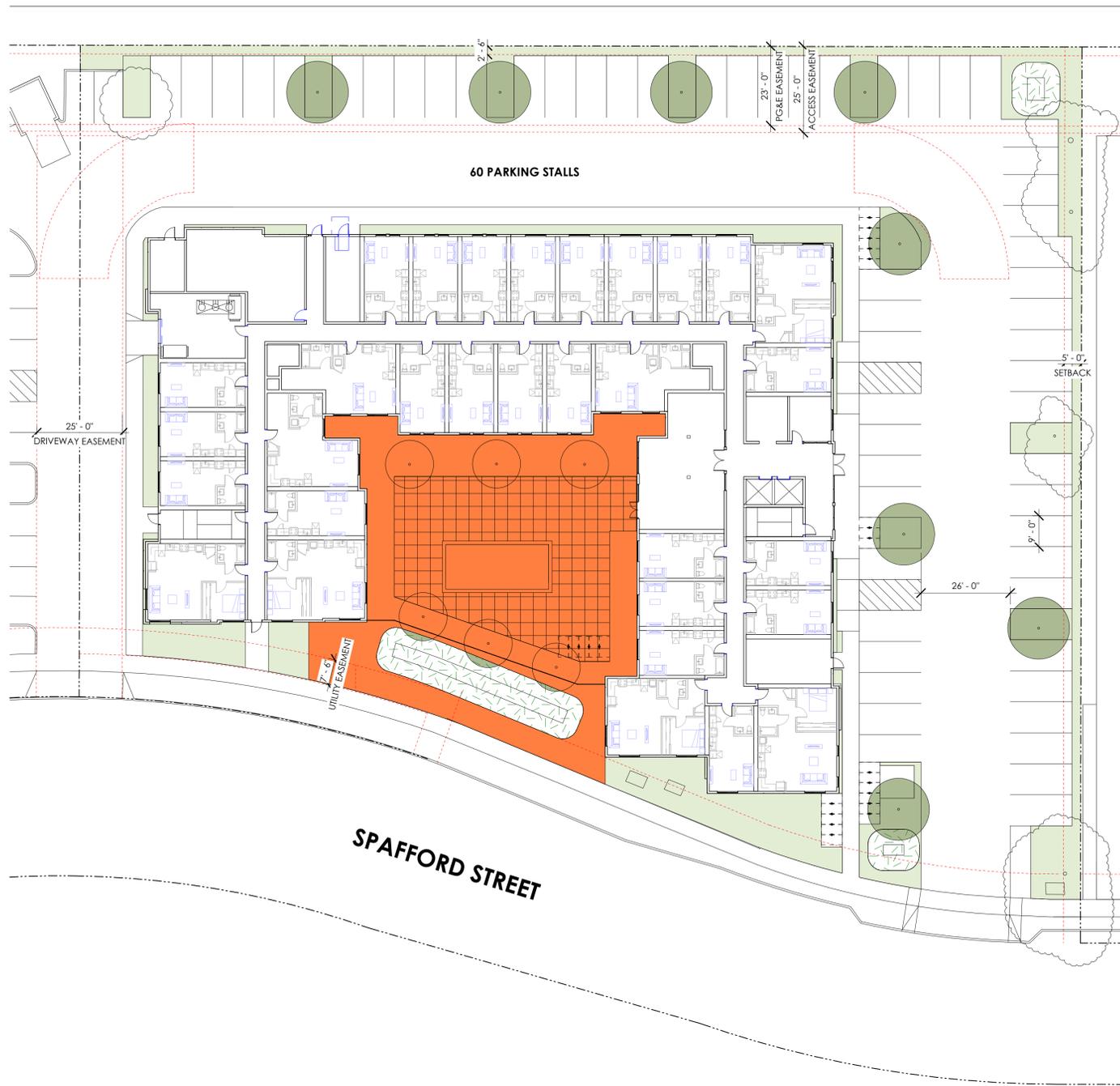


3 - SOUTHEAST VIEW FROM SPAFFORD STREET



4 - AERIAL VIEW OF SOUTHEAST CORNER





LEGEND:
 COMMON OPEN SPACE

OPEN SPACE SUMMARY:

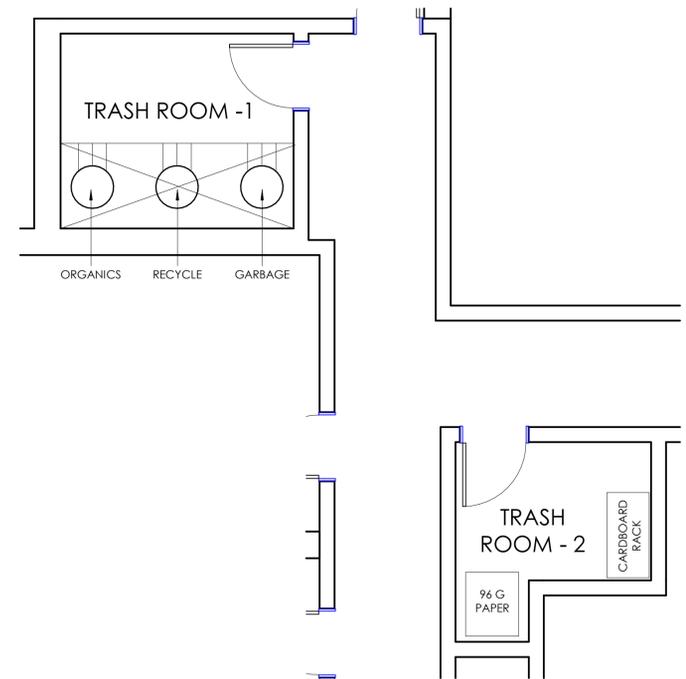
LEVEL	COMMON OPEN SPACE	PRIVATE OPEN SPACE
		UNIT PATIO/BALCONIES
LEVEL 1	6,534 SF	-
LEVEL 2	-	-
LEVEL 3	-	-
LEVEL 4	-	-
SUB TOTAL	6,534 SF	-
TOTAL		6,534 SF

TOTAL OPEN SPACE PROVIDED = 6,534 SF
 REQUIRED: 10% OF SITE AREA
 (65,775 X 10%) = 6,534 SF

SITE PLAN - OPEN SPACE

1" = 20'-0"

1



LEVEL 2 - 4 TRASH ROOM LAYOUT

1/4" = 1'-0"

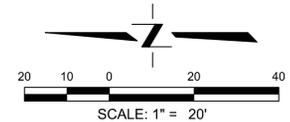
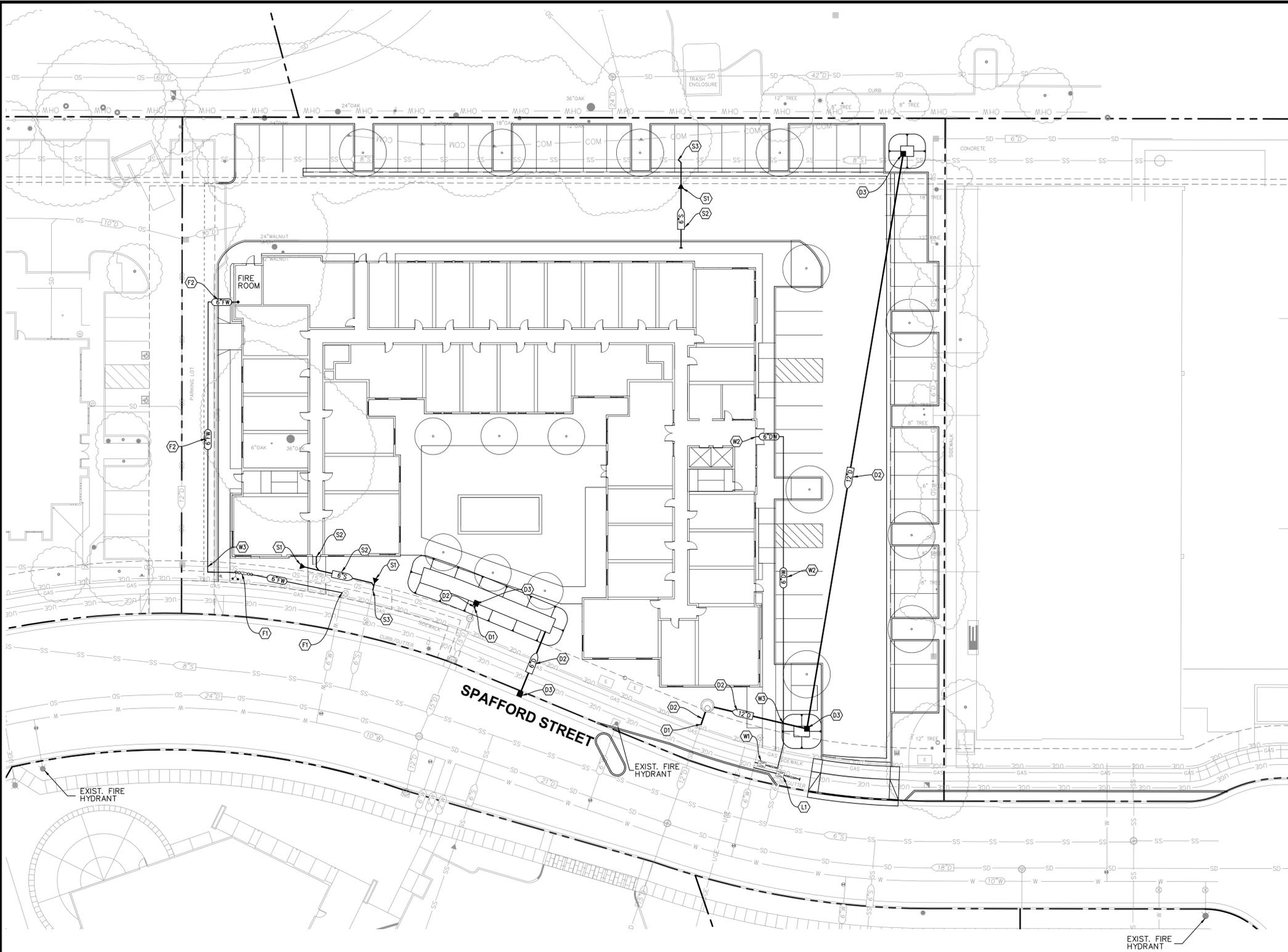
3



LEVEL 1 TRASH ROOM LAYOUT

1/4" = 1'-0"

2



SANITARY SEWER KEYNOTES:

- (S1) CONSTRUCT CITY STANDARD CLEANOUT.
- (S2) INSTALL 6" SANITARY SEWER SERVICE TO WITHIN 5' OF BUILDING PER CITY OF DAVIS STANDARD PLAN 201-1, LENGTH AND SLOPE PER PLAN. SEE PLUMBING PLANS FOR 2-WAY CLEANOUT AND CONTINUATION INTO BUILDING. VERIFY LOCATION, SIZE AND DEPTH OF BUILDING SEWER STUB WITH PLUMBING PLANS.
- (S3) JOIN SITE SEWER TO EXISTING SEWER SERVICE STUB.

IRRIGATION WATER KEYNOTES:

- (I1) INSTALL 2" IRRIGATION SERVICE WITH 2" METER ASND 2" REDUCED PRESSURE BACKFLOW ASSEMBLY PER CITY OF DAVIS STANDARD PLAN 101-11. SEE LANDSCAPE IRRIGATION PLANS FOR CONTINUATION.

DOMESTIC WATER KEYNOTES:

- (W1) INSTALL 4" DOMESTIC WATER SERVICE WITH 4" METER AND 4" REDUCED PRESSURE BACKFLOW ASSEMBLY PER CITY OF DAVIS STANDARD PLAN 101-11.
- (W2) INSTALL 4" DOMESTIC WATER SERVICE TO WITHIN 5' OF BUILDING PER CITY OF DAVIS STANDARD PLAN 201-1, SEE BUILDING PLUMBING PLANS FOR SHUT-OFF VALVE AND CONTINUATION INTO BUILDING. VERIFY LOCATION AND SIZE OF BUILDING DOMESTIC WATER STUB WITH PLUMBING PLANS.
- (W3) PROPOSED WATER CROSSING WITH OTHER UTILITY AS SHOWN ON PLAN - SEE UTILITY NOTE 7 BELOW.

FIRE WATER KEYNOTES:

- (F1) INSTALL 6" FIRE SPRINKLER SERVICE WITH 6" DOUBLE CHECK DETECTOR CHECK ASSEMBLY (AMES 3000SS) (WITH INTEGRATED FIRE DEPARTMENT CONNECTION) PER CITY OF DAVIS STANDARD PLAN 101-9.
- (F2) INSTALL 6" FIRE SPRINKLER SERVICE, TO WITHIN 5' OF BUILDING PER CITY OF DAVIS STANDARD PLANS 101-2 AND 201-1. SEE BUILDING FIRE PROTECTION PLANS FOR FIRE RISER WITHIN BUILDING. VERIFY LOCATION AND SIZE OF BUILDING FIRE SPRINKLER STUB WITH FIRE PROTECTION PLANS.

STORM DRAIN KEYNOTES:

- (D1) JOIN SITE STORM DRAIN PIPE TO EXISTING STORM DRAIN SERVICE PIPE.
- (D2) INSTALL SITE STORM DRAIN MAIN PER CITY OF DAVIS STANDARD PLAN 201-1, SIZE, LENGTH AND SLOPE PER PLAN.
- (D3) INSTALL 18"x18" PRE-CAST CONCRETE DRAIN INLET (CENTRAL PRECAST OR APPROVED EQUAL).

UTILITY NOTES

1. SEE LANDSCAPE PLANS FOR IRRIGATION SLEEVE LOCATIONS.
2. SEE ELECTRICAL PLANS FOR SITE ELECTRICAL, LIGHTING AND TELECOMMUNICATIONS.
3. WATER PIPES TO BE INSTALLED WITH 36" MINIMUM COVER AND 12" MINIMUM SEPARATION FROM OTHER UTILITIES (INCLUDING OTHER WATER LINES) - SEE CROSSING DETAIL HEREON. SITE WATER PIPES SHALL EITHER BE MECHANICALLY RESTRAINED AT ALL JOINTS AND FITTINGS OR HAVE CONCRETE THRUST BLOCKS INSTALL AT ALL FITTINGS PER CITY OF DAVIS STANDARD PLAN 101-2.
4. ALL UTILITY PIPE TRENCHES ARE TO BE PER CITY OF DAVIS STANDARD PLAN 201-1.
5. CONTRACTOR TO POTHOLE EXISTING JOINT TRENCH UTILITIES (GAS, ELEC, TELE.) AT EACH PROPOSED UTILITY CROSSING PRIOR TO START OF CONSTRUCTION AND REPORT ANY CONFLICTS TO THE ENGINEER.
6. ALL FIRE WATER PIPE RESTRAINTS DOWNSTREAM OF THE BACKFLOW ASSEMBLY SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE NFPA.
7. PROPOSED GRAVITY UTILITY LINES AND EXISTING UTILITIES SHALL GOVERN VERTICAL INSTALLATION OF PROPOSED WATER IMPROVEMENTS. CONTRACTOR SHALL RAISE/LOWER NEW WATER LINE IMPROVEMENTS TO AVOID VERTICAL CONFLICTS WITH PROPOSED LINES AND EXISTING UTILITIES AT NO COST TO OWNER.
8. ALL FIRE WATER LINES SHALL MAINTAIN 36" MINIMUM COVER PER NFPA.
9. ALL UNDERGROUND FIRE MAINS SHALL BE INSTALLED AND TESTED PER NFPA 24, PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES.
10. ALL CONTROL VALVES ON THE FIRE UNDERGROUND SYSTEM (INCLUDING THE BACKFLOW PREVENTER) SHALL HAVE TAMPER SWITCHES THAT ARE MONITORED BY AN APPROVED FIRE ALARM CENTRAL STATION. CONTRACTOR SHALL PROVIDE THE NECESSARY UNDERGROUND CONDUIT AND COORDINATE THE INSTALLATION WITH THE LOCATION OF THE FIRE ALARM PANEL SUCH THAT VALVES ARE MONITORED PRIOR TO OCCUPANCY.

DATE SIGNED:
THESE DRAWINGS ARE NOT
CONSIDERED FINAL UNTIL THE
ENGINEER'S SEAL BELOW HAS
BEEN SIGNED AND DATED.



DESIGNED BY	RT
DRAWN BY	RT
CHECKED BY	SG
SCALE	1" = 20'

NO.	DATE	REVISIONS

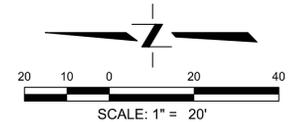
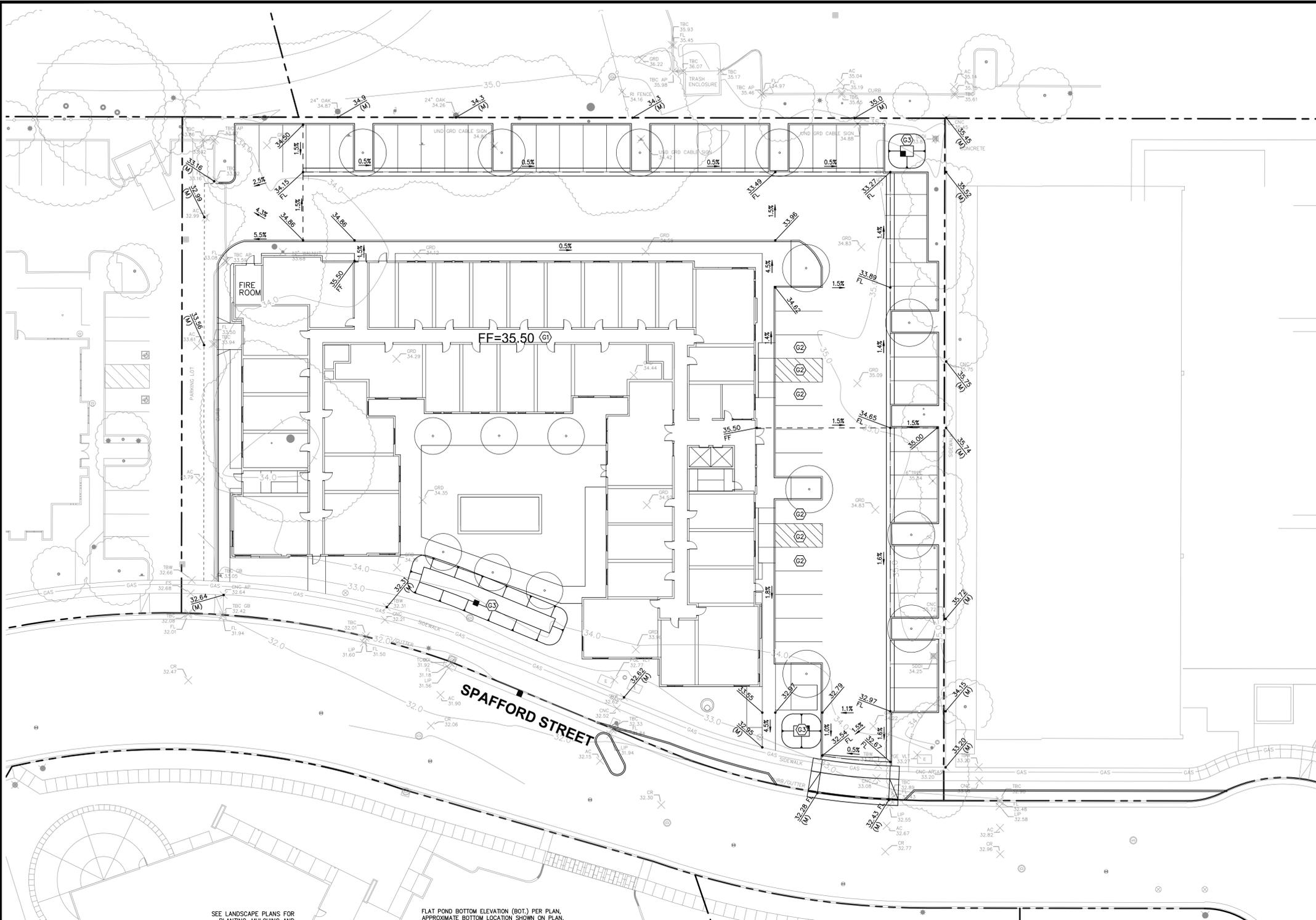
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Davis, CA 95618
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THE NEST APARTMENTS
2932 SPAFFORD STREET
PRELIMINARY CIVIL SITE UTILITY PLAN
DAVIS CALIFORNIA

SHEET	01
OF	5
DATE:	05/06/2025
JOB NO:	2074.01

S:\Projects\2024\Spafford Street Apartments\AutoCAD\2074-01 SD\2074-01-01-C1-UTL.dwg - C1 5/02/2025 - 11:54AM Plotted by: Rob



GRADING KEYNOTES:

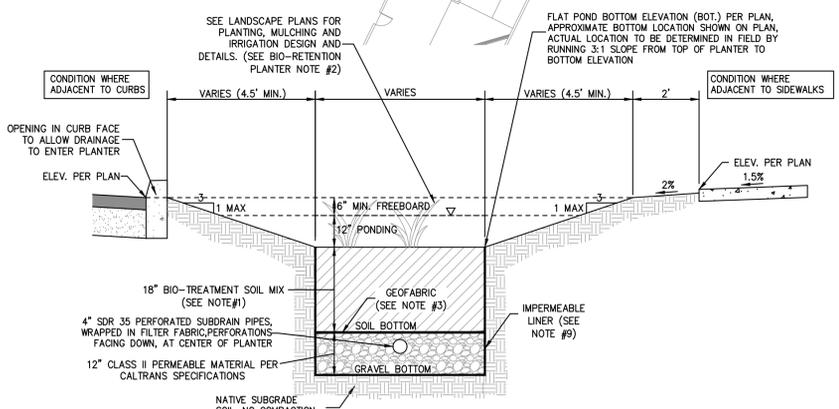
- (G1) BUILDING PAD SHALL BE CONSTRUCTED TO A MINIMUM OF 5' BEYOND BUILDING WALL LINES OR TO THE OUTER EDGES OF ADJACENT EXTERIOR FLATWORK, WHICHEVER IS GREATER. SEE SOILS REPORT FOR SPECIFIC EARTHWORK GUIDELINES AND RECOMMENDATIONS. PAD GRADE SHALL BE CALCULATED BY SUBTRACTING THE BUILDING FOUNDATION THICKNESS (FROM THE STRUCTURAL PLANS) FROM THE FINISH FLOOR ELEVATION SHOWN HEREON.
- (G2) SLOPE WITHIN ACCESSIBLE PARKING STALLS AND AISLES SHALL BE 2% MAXIMUM.
- (G3) CONSTRUCT BIO-RETENTION PLANTER PER DETAIL HEREON.

GRADING NOTES

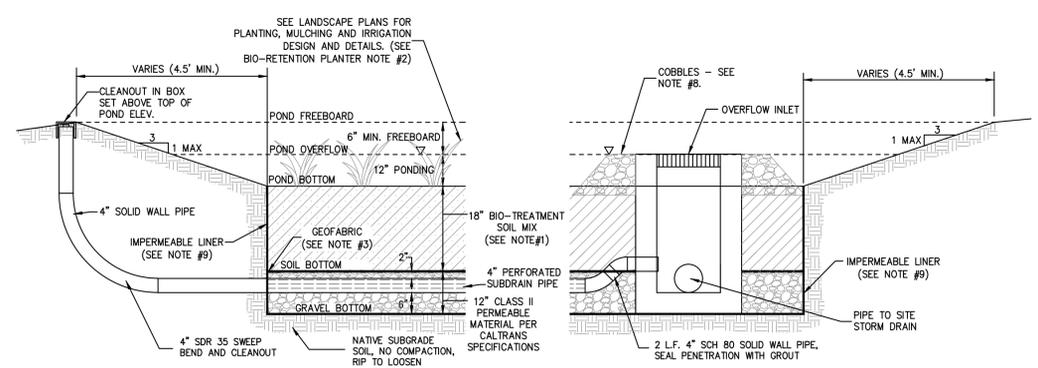
1. PROPOSED ELEVATIONS SHOWN ARE FINISH SURFACE UNLESS OTHERWISE NOTED. ELEVATIONS SHOWN AT CURBS REPRESENT FINISHED GRADE AT TOP OF PAVEMENT AT FACE OF CURB OR GUTTER FLOWLINE.
2. FINISH GRADE ADJACENT TO BUILDINGS (WHEN ADJACENT TO LANDSCAPE AREAS AND NO CONCRETE MAINTENANCE STRIP) SHALL BE SET 8" BELOW FINISH FLOOR GRADE.
3. SEE ARCHITECTURAL PLANS FOR RAMPS, CURB RAMPS, PEDESTRIAN CONCRETE FLATWORK, AND TRASH ENCLOSURE DESIGN AND DETAILS.
4. ALL ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL HAVE A MAXIMUM SLOPE OF 2.0% IN ANY DIRECTION.
5. ALL ACCESSIBLE PATHS OF TRAVEL SHALL HAVE MAXIMUM SLOPES OF 5.0% IN THE DIRECTION OF TRAVEL AND MAXIMUM CROSS-SLOPES OF 2.0%.

BIO-RETENTION PLANTER NOTES:

1. BIO-TREATMENT SOIL MIX: THE PLANTING MEDIUM MUST SUSTAIN A MINIMUM INFILTRATION RATE OF 5 INCHES PER HOUR THROUGHOUT THE LIFE OF THE PROJECT AND MUST MAXIMIZE RUNOFF RETENTION AND POLLUTANT REMOVAL. A MIXTURE OF SAND (60%-70%) AND COMPOST (30%-40%) SHALL BE USED. SAND SHALL MEET THE SPECIFICATIONS OF AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) C33. COMPOST SHALL BE A WELL DECOMPOSED, STABLE, WEED FREE ORGANIC MATTER SOURCE DERIVED FROM WASTE MATERIALS INCLUDING YARD DEBRIS, WOOD WASTES OR OTHER ORGANIC MATERIALS NOT INCLUDING MANURE OR BIO-SOLIDS MEETING THE STANDARDS DEVELOPED BY THE US COMPOSTING COUNCIL (USCC). THE PRODUCT SHALL BE CERTIFIED THROUGH THE USCC SEAL OF TESTING ASSURANCE (STA) PROGRAM (A COMPOST TESTING AND INFORMATION DISCLOSURE PROGRAM).
2. MULCH IN BIO-RETENTION AREAS SHALL BE 3" DEPTH OF ORGANIC COMPOST MULCH. OTHER TYPES OF MULCH ARE NOT PERMITTED UNDER THE WATERLINE OR IN THE FREEBOARD AND MUST BE RETAINED BY BENDER BOARD, COBBLE, CONCRETE BARRIER, VEGETATION OR THE LIKE.
3. PLACE NON-WOVEN FILTER FABRIC BETWEEN SOIL AND ROCK LAYERS.
4. MAINTAIN BOTTOM SURFACE ELEVATION OF PLANTER INDICATED HEREON THROUGHOUT BIO-RETENTION PLANTER AREA.
5. THE CLASS 2 PERMEABLE LAYER MAY EXTEND BELOW AND UNDERNEATH DROP INLET.
6. SUBGRADE WITHIN BOTTOM OF STORMWATER PLANTER AREAS (AREAS BENEATH GRAVEL LAYER) SHALL CONSIST OF UNCOMPACTED NATIVE SOIL, RIPPED TO LOOSEN.
7. REFER TO LANDSCAPE PLANS FOR PLANTING AND IRRIGATION IMPROVEMENTS WITHIN BIO-RETENTION PLANTER.
8. PROVIDE 24" WIDE AND THICK BORDER OF 4"-6" COBBLES AROUND OVERFLOW OUTLET.
9. BOTTOM AND SIDES OF PLANTER SHALL BE LINED WITH AN IMPERMEABLE LINER (HDPE OR PVC) WITH A THICKNESS OF 12 MIL MINIMUM.



BIO-RETENTION PLANTER - CROSS SECTION
N.T.S.



BIO-RETENTION PLANTER - LONGITUDINAL SECTION
N.T.S.

DATE SIGNED: _____
 THESE DRAWINGS ARE NOT CONSIDERED FINAL UNTIL THE ENGINEER'S SEAL BELOW HAS BEEN SIGNED AND DATED.

DESIGNED BY	RT	DRAWN BY	RT	CHECKED BY	SG	SCALE	1" = 20'
APPROD.		BY		REVISIONS			
NO.	DATE						

CECWEST.COM

Project Planning - Civil Engineering - Landscape Architecture

Davis Office
 2940 Spafford Street, Suite 110
 Davis, CA 95618
 (530) 758-2026

Sacramento Office
 2120 20th Street, Suite Three
 Sacramento, CA 95818
 (916) 455-2026

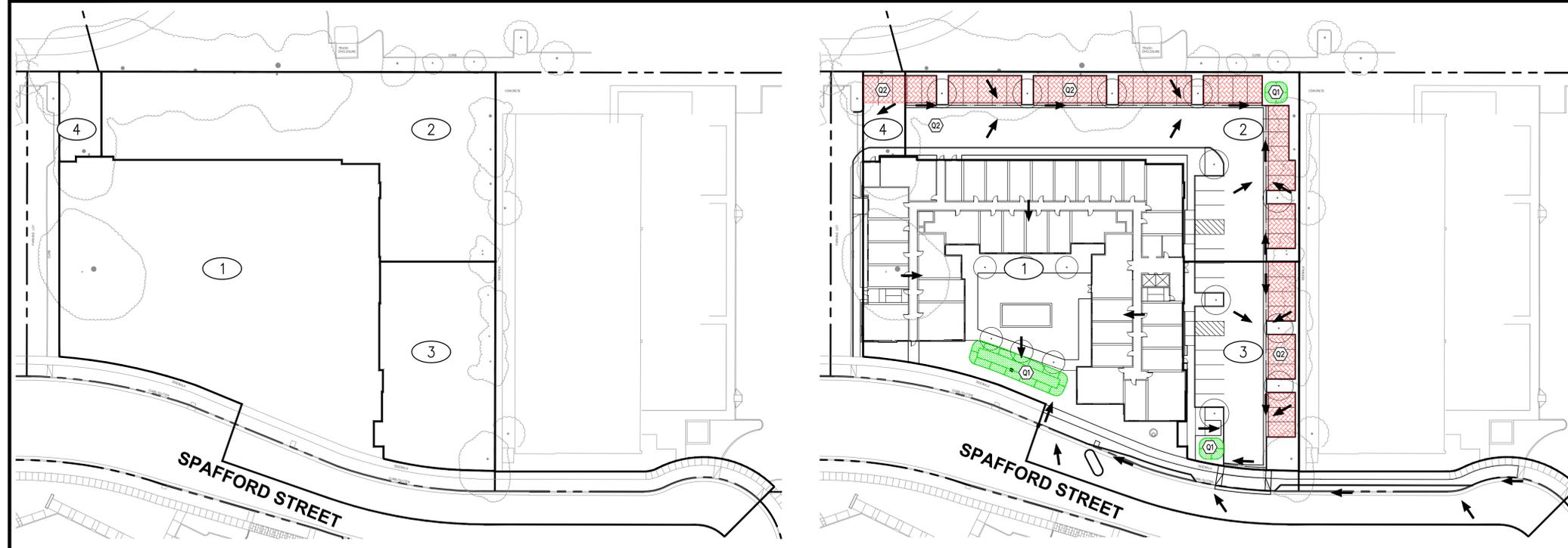
THE NEST APARTMENTS
2932 SPAFFORD STREET

PRELIMINARY SITE GRADING PLAN
 DAVIS CALIFORNIA

SHEET
02
 OF
5

DATE: 05/06/2025

JOB NO: 2074.01



PROJECT INFORMATION:
 PROJECT NAME: SPAFFORD APARTMENTS
 ADDRESS: 2932 SPAFFORD STREET
 APPLICANT: AFFORD LP
 APN#: 071-403-002-000

PROJECT NARRATIVE:
 STORMWATER RUNOFF FROM THE MULTI FAMILY RESIDENTIAL BUILDING WILL BE PIPED INTO THE BIO-RETENTION PLANTER LOCATED IN THE BUILDING COURTYARD. STORMWATER RUNOFF FROM THE PARKING LOT WILL SHEET FLOW DIRECTLY INTO BIO-RETENTION PLANTERS LOCATED WITHIN THE PARKING LOT. TREATED STORMWATER FROM THE BIO-RETENTION PLANTERS WILL BE RELEASED INTO THE CITY STORM DRAINAGE SYSTEM IN THE STREET.

SITE DESIGN & RUNOFF REDUCTION MEASURES:

TREE PLANTING AND PRESERVATION:
 INTERCEPTOR TREES WILL BE PLANTED THROUGHOUT THE SITE. SEE LANDSCAPE PLANTING PLAN.

PREVIOUS PAVEMENTS:
 PORTIONS OF THE PARKING LOT WILL BE PAVED WITH PERVIOUS PAVEMENT.

POST-CONSTRUCTION STORMWATER KEYNOTES:

POST-CONSTRUCTION STORMWATER TREATMENT WILL BE PROVIDED BY BIO-RETENTION PLANTERS AS SHOWN.

STATEMENT OF COMPLIANCE

STORM WATER QUALITY TREATMENT PERFORMANCE REQUIREMENTS HAVE BEEN MET ON-SITE PER E.12 REQUIREMENTS.

STATEMENT OF HYDROMODIFICATION COMPLIANCE

THIS PROJECT DOES NOT CREATE AND/OR REPLACE ONE ACRE OR MORE OF IMPERVIOUS SURFACE AND THEREFORE IS NOT SUBJECT TO HYDROMODIFICATION MANAGEMENT (PER SECTION E.12.F.(I) OF THE GENERAL PERMIT).

STORMWATER QUALITY KEYNOTES:

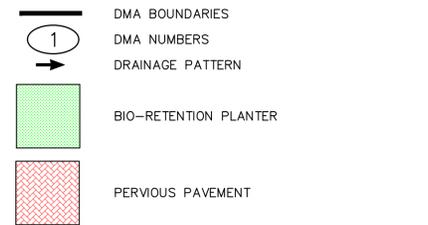
- 01 INSTALL BIO-RETENTION PLANTER PER DETAIL ON SHEET C2 SITE GRADING PLAN.
- 02 INSTALL PERVIOUS PAVEMENT.

BIO-RETENTION PLANTER SIZING CALCULATIONS

Shed No.	BIO-RETENTION PLANTER CHARACTERISTICS						Bio-retention Volume Required (CF)
	Planter Bottom Area (SF)	Planter Bottom Perimeter (FT)	Planter Ponding Depth (FT)	Bio-soil Mix Depth (FT)	Permeable Material Depth (FT)	Bio-retention Volume Provided (CF)	
1	322	119	1.00	1.50	1.00	774	757
2	20	18	1.00	1.50	1.00	64	62
3	24	20	1.00	1.50	1.00	74	73
4	0	0	1.00	1.50	1.00	0	0
5							
6							
7							
8							
Total						913	892

ASSUMPTIONS
 Side slope = 3.00
 Soil pores = 0.30
 Gravel pores = 0.40
 Soil Class = C
 [calculations assume bio-soil and gravel below bottom only, not under side slopes]

STORMWATER QUALITY LEGEND:



PROPOSED AREA SUMMARY:

PROPOSED SHED AREA SUMMARY (SF)								
DMA NO.	BLDG. IMPERV. AREA	NON-BLDG IMPERV. AREA	TOTAL IMPERV. AREA	PERV. AREA	TOTAL AREA	EX. TREE AREA	PR. TREES #	PERV.PAVE. AREA
1	20,787	13,290	34,077	7,253	41,330	484	6	0
2	0	10,781	10,781	7,236	18,017	5,490	6	4,348
3	0	6,163	6,163	2,990	9,153	610	4	1,485
4	0	918	918	502	1,420	852	0	424
TOTAL	20,787	31,152	51,939	17,981	69,920	7,436	16	6,257

EXISTING AREA SUMMARY:

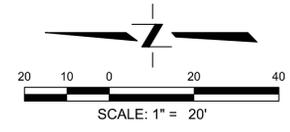
EXISTING SHED AREA SUMMARY (SF)					
DMA NO.	BLDG. IMPERV. AREA	NON-BLDG IMPERV. AREA	TOTAL IMPERV. AREA	PERV. AREA	TOTAL AREA
1	0	9,378	9,378	31,952	41,330
2	0	0	0	18,017	18,017
3	0	0	0	9,153	9,153
4	0	0	0	1,420	1,420
TOTAL	0	9,378	9,378	60,542	69,920

POST-CONSTRUCTION WATER BALANCE CALCULATOR - DMA 1

Post-Construction Water Balance Calculator				YOL0			
<p>User may make changes from any cell that is orange or green in color. Similar to the cells to the immediate right. Cells in green are calculated for you.</p>							
<p>Project Information</p> <p>Project Name: Spafford Street Apartments</p> <p>Waste Discharge Identification (WQID): Open Space: grass cover >75%</p> <p>Date: 5/6/2025</p> <p>Sub Drainage Area Name (from GIS): DMA 1</p>				<p>Runoff Calculations</p> <p>Group C Soils: Low Infiltration. Sandy clay loam, infiltration rate 0.8 to 1.5 inches when wet.</p> <p>Design Storm: 0.65 in</p> <p>Percent of total project: 99%</p>			
<p>Design Storm</p> <p>Existing Runoff Curve Number: 60</p> <p>Proposed Development Runoff Curve Number: 94</p>				<p>Percent of total project</p> <p>Complete Either</p> <p>Sq Ft: 41330</p> <p>Acres: 0.95</p>			
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<p>Design Storm</p> <p>Existing Runoff Curve Number: 60</p>							



ENGINEER'S OPINION OF PROBABLE CONSTRUCTION COSTS
 SPAFFORD APARTMENTS - PRELIMINARY DIAGONAL PARKING IMPROVEMENTS
 BASED ON: PLANS DATED 3/3/2025
 PREPARED BY: RT
 REVISED: 3-3-2025

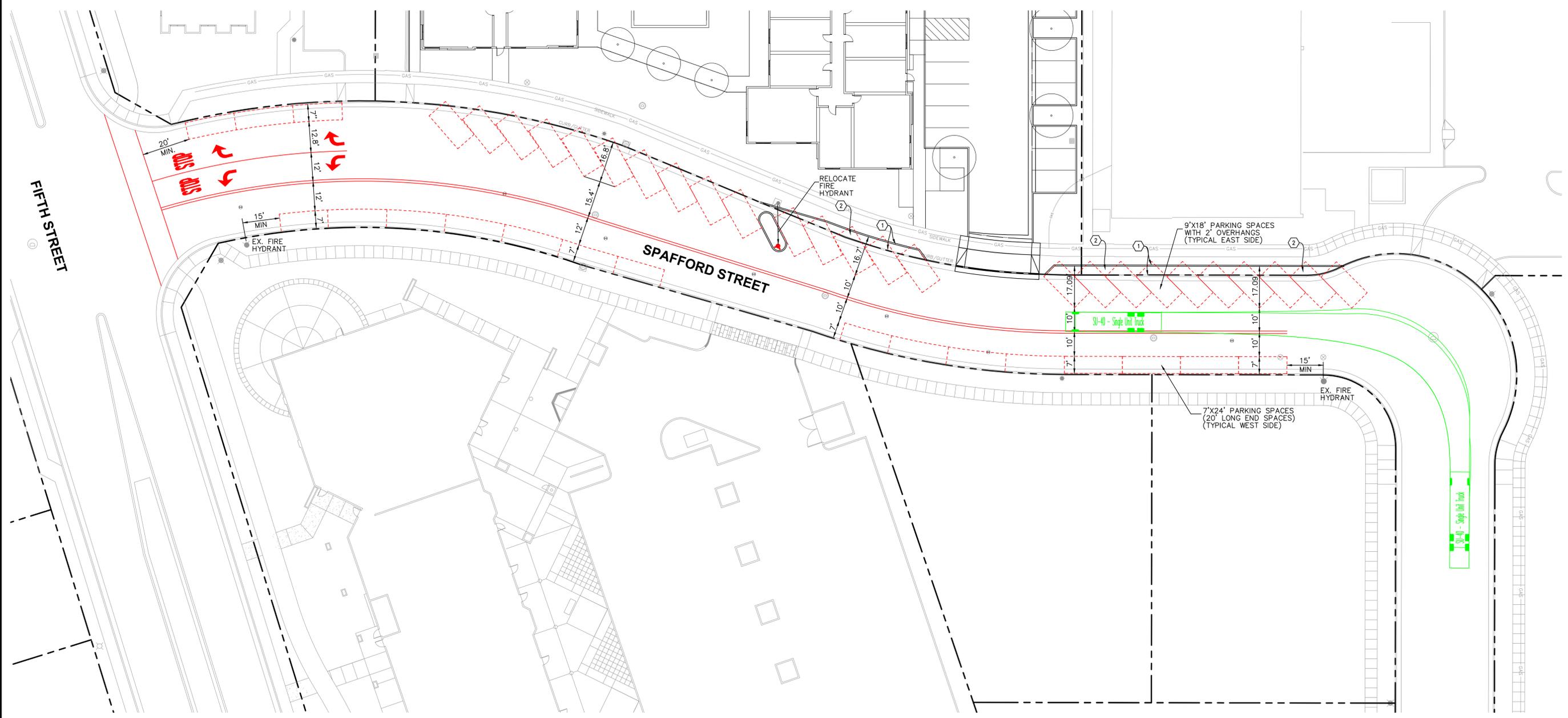


APPROXIMATE NET PARKING SPACES = 10

- KEYNOTES:**
- ① REMOVE EXISTING CURB & GUTTER AND CONSTRUCT NEW CURB.
 - ② INSTALL NEW PAVEMENT TO WIDEN STREET FOR PARKING.

PUBLIC CIVIL IMPROVEMENTS

ITEM	DESCRIPTION	QTY	UNIT	UNIT COST	TOTAL COST
I. STREET IMPROVEMENTS					
1.	DEMOLITION AND RELOCATIONS	1	LS	\$20,000.00	\$20,000
2.	STREET PAVEMENT (3.5" AC12" AB)	570	SF	\$10.00	\$5,700
3.	CURBS	250	LF	\$58.00	\$14,500
4.	STREET STRIPING	1	LS	\$10,000.00	\$10,000
STREET IMPROVEMENTS TOTAL					\$50,200



DESIGNED BY	RT
DRAWN BY	RT
CHECKED BY	SG
SCALE	1" = 20'

CECWEST.COM
 Project Planning - Civil Engineering - Landscape Architecture
 Davis Office
 2940 Spafford Street, Suite 110
 Davis, CA 95618
 (530) 758-2026
 Sacramento Office
 2120 20th Street, Suite Three
 Sacramento, CA 95818
 (916) 455-2026

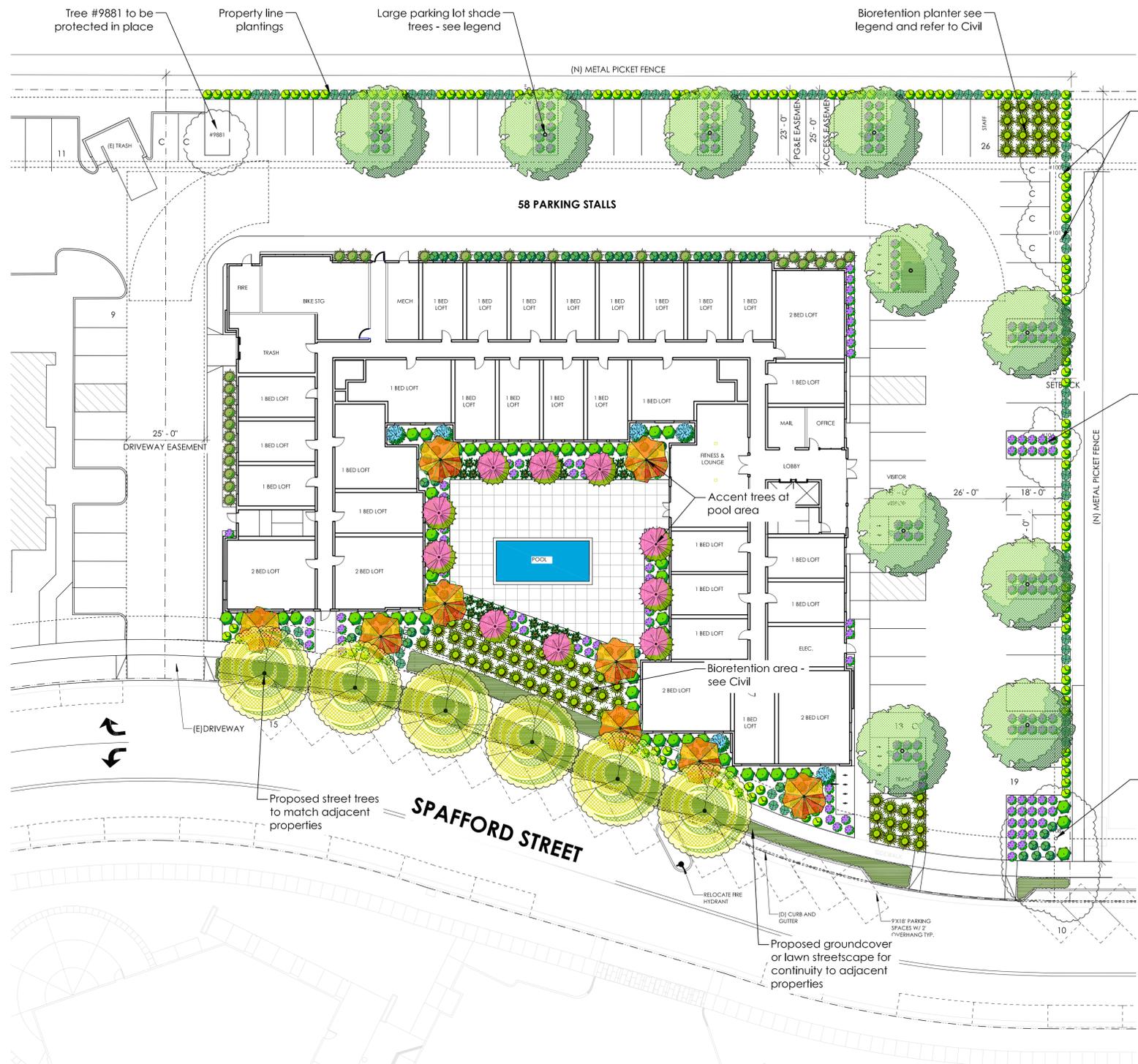
THE NEST APARTMENTS
2932 SPAFFORD STREET
STREET PARKING EXHIBIT
 CALIFORNIA

DATE SIGNED:
 THESE DRAWINGS ARE NOT
 CONSIDERED FINAL UNTIL THE
 ENGINEER'S SEAL BELOW HAS
 BEEN SIGNED AND DATED.



SHEET	C4
OF	5
DATE:	05/06/2025
JOB NO:	2074.01

S:\Projects\2024\Spafford Street Apartments\AutoCAD\2074-01\SD\2074-01-01-C4-PARK.dwg - C4_5/02/2025 - 11:16AM Plotted by: Robb



CANDIDATE PLANT LIST

Botanical Name	Common Name	Water Use
Street Trees		
<i>Platanus acerifolia</i>	London Plane Tree	Med
Parking Lot Shade Trees		
<i>Acer rubrum</i> 'October Glory'	Red Maple	Med
<i>Ulmus parvifolia</i> 'True Green'	Chinese Elm	Med
<i>Quercus agrifolia</i>	Coast Live Oak	Low
Accent & Screening Trees		
<i>Acer palmatum</i> 'Bloodgood'	Japanese Maple	Med
<i>Arbutus</i> 'Marina'	Strawberry Tree	Low
<i>Cercidium</i> x 'Desert Museum'	Palo Verde	Low
<i>Cercis Canadensis</i> 'Oklahoma'	Eastern Redbud	Low
<i>Chionathus retusus</i>	Chinese Fringe Tree	Low
<i>Chitalpa tashkentensis</i> 'Pink Dawn'	Pink Dawn Chitalpa Tree	Low
Shrubs/Perennials/Grasses		
<i>Agave</i> 'Blue Flame'	Blue Flame Agave	Low
<i>Anigozanthos</i> spp.	Kangaroo Paw	Low
<i>Calamagrostis</i> a. 'Karl Forester'	Feather Reed Grass	Low
<i>Calandrinia spectabilis</i> 'Shining Pink'	Rock Purslane	Low
<i>Callistemon</i> v. 'Little John'	Dwarf Bottle Brush	Low
<i>Cistus</i> 'Mickie'	Dwarf Rockrose	Low
<i>Dianella revoluta</i> 'Cool Vista'	Cool Vista Flax Lily	Med
<i>Hemerocallis</i> spp.	Daylily	Low
<i>Hesperaloe parvifolia</i> 'Brake Lights'	Brake Lights Red Yucca	Low
<i>Lomandra</i> 'Lime Tuff'	Lime Tuff Matt Rush	Med
<i>Nandina domestica</i> 'Lemon Lime'	Heavenly Bamboo	Low
<i>Pennisetum</i> a. 'Hameln'	Fountain Grass	Low
<i>Perovskia</i> a. 'Blue Jean Baby'	Russian Sage	Low
<i>Pennisetum</i> a. 'Hameln'	Fountain Grass	Low
<i>Pittosporum</i> t. 'Wheeler's Dwarf'	Dwarf Pittosporum	Med
<i>Salvia greggii</i> 'Furman's Red'	Autumn Sage	Low
Groundcovers		
<i>Arctostaphylos uva-ursi</i>	Groundcover Manzanita	Low
<i>Myoporum parvifolium</i> 'Fine Leaf Form'	Myoporum	Med
<i>Trachelospermum asiaticum</i>	Asian Star Jasmine	Med
Bioretention Plantings		
<i>Chondropetalum tecorum</i>	Cape Rush	Med
<i>Carex barbarae</i>	Santa Barbara Sedge	Med
<i>Iris douglasiana</i>	Douglas Iris	Med

PROJECT LANDSCAPE

TOTAL PROPOSED LANDSCAPE AREA: 9,582 SF

PLANTING NOTES

- THE FINAL LANDSCAPE DESIGN (FOR BUILDING PERMIT) WILL COMPLY WITH THE FOLLOWING:
- 30% TREE SPECIES TO BE EVERGREEN (BOTH STREET + PARKING LOT).
 - 25% TREES TO BE 24" BOX
 - NO ONE SPECIES WILL EXCEED A MAX. OF 75% WITHIN EACH CATEGORY:
 - SHADE TREE
 - SCREEN TREE
 - SHRUB
 - ROOT BARRIERS ARE REQUIRED IN ALL PLANTERS WHERE TREES ARE INSTALLED WITHIN 10' OF PAVING OR HARDSCAPE.
 - APPLY PRE-EMERGENT TO ALL NON-SEEDED PLANTERS PRIOR TO PLANTING
 - INSTALL A WEED CONTROL LAYER IN ALL BARK AND/ OR ROCK AREAS (AS APPLICABLE)
 - ALL TREES ARE REQUIRED TO MAINTAIN 10' CLEAR FROM LIGHT POLES AND 6' FROM UNDERGROUND UTILITIES.

WATER CONSERVATION STATEMENT

The proposed design shall be in compliance with the criteria of the Model Water Efficient Landscape Ordinance, and such criteria shall be applied for the efficient use of water in the irrigation design plan.

100%



PARKING LOT SHADE CALCULATION

Size	Credit	Sq. Ft.	Shade Credit	Symbol
30-35'	100%	962	(9) (962) = 8,658	
	75%	722	(3) (722) = 2,166	
	50%	481	(2) (481) = 1,443	
	25%	240	(0) (240) = 0	

Total: = 12,267

Total sq. ft. of shaded area in calculation: 12,267
 Total sq. ft. of paved parking in calculation: 21,505
 Percentage of shade provided: 57%

TREE REPLACEMENT PLAN

Proposed Mitigation:
 16 (24" Box) Parking Lot and Street Trees = 32" mitigation
 19 (15 Gal) Accent Trees = 19" mitigation
 TOTAL Mitigation Provided = 51"